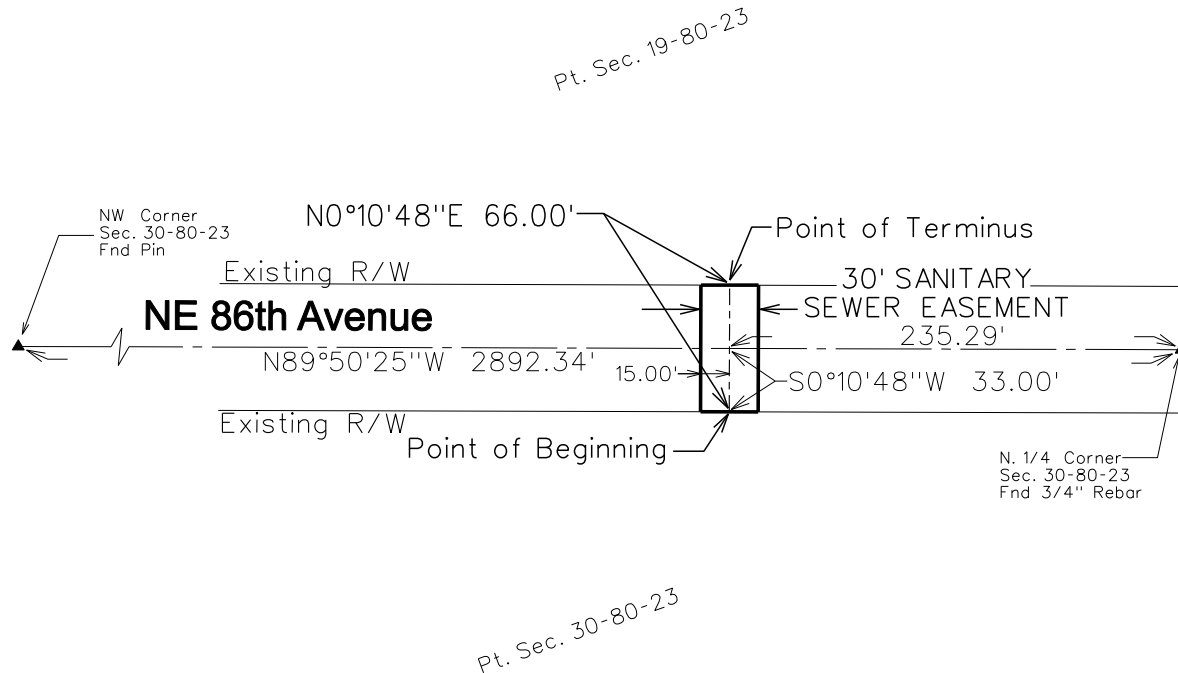


ACQUISITION PLAT

OF PERMANENT EASEMENT BEING CONVEYED TO DES MOINES
METROPOLITAN WASTEWATER RECLAMATION AUTHORITY.
SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION.



LEGEND

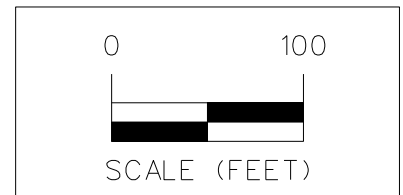
Survey

Found Section Corner, as Noted
Found Monument, as Noted
Set 1/2" Rebar w/ Orange Cap #11579
Calculated Point
Platted Distance
Measured Bearing & Distance
Recorded As
Section Line
Property Line
Sanitary Sewer Centerline
Sanitary Sewer Easement Line

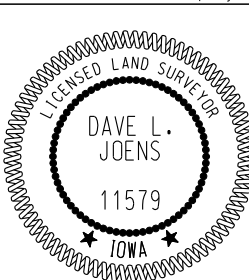
▲
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+
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Date of Survey: May 21, 2009
Tax Parcel: None
Property Address: N/A
Owner: City of Ankeny
410 W. 1st Street
Ankeny, IA 50023-1557



7/28/2009 J:\2009_projects\109.0206\Cadd\Plats\Parcel 3216 86th Avenue.eas



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Dave L. Joens, PLS Date
License Number 11579
My License Renewal Date is December 31, 2010
Pages or sheets covered by this seal:
Sheets 1 and 2



SNYDER & ASSOCIATES
ENGINEERS 2727 SW SNYDER BLVD.
PLANNERS ANKENY, IA 50023 (515) 964-2020

EXHIBIT PE-3216

ACTIVITY ID. 01-2009-10

FOUR MILE INTERCEPTOR - PHASE 24
SEGMENT 3 & 4 W R A SHEET 1 OF 2

REV/BY

ACQUISITION PLAT

OF PERMANENT EASEMENT BEING CONVEYED TO DES MOINES
METROPOLITAN WASTEWATER RECLAMATION AUTHORITY.

PERMANENT SANITARY SEWER EASEMENT DESCRIPTION:

A PART NE 86TH AVENUE RIGHT-OF-WAY IN SECTIONS 19 AND 30, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF THE CITY OF ANKENY, POLK COUNTY, IOWA AND BEING 15.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 30; THENCE NORTH 89° (DEGREES) 50' (MINUTES) 25" (SECONDS) WEST ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 30, A DISTANCE OF 235.29 FEET; THENCE SOUTH 0°10'48" WEST, 33.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SAID NE 86TH AVENUE AND TO THE POINT OF BEGINNING; THENCE NORTH 0°10'48" EAST, 66.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID NE 86TH AVENUE AND TO THE POINT OF TERMINUS.

SUBJECT EASEMENT CONTAINS 0.05 ACRES (1,980 S.F.).

		SNYDER & ASSOCIATES	
		ENGINEERS	2727 SW SNYDER BLVD.
		PLANNERS	ANKENY, IA 50023 (515) 964-2020
		EXHIBIT PE-3216	
		ACTIVITY ID. 01-2009-10	
		FOUR MILE INTERCEPTOR - PHASE 24	
REV/BY		SEGMENT 3 & 4 W R A SHEET 2 OF 2	